

RENOVATION OF:

ABS 70 HILLTOP RD RAMSEY, NEW JERSEY 07446

GENERAL NOTES:

USE GROUP: B
CONSTRUCTION TYPE: IIB / NON-COMBUSTIBLE
AREA OF WORK: +/-1,545 SQ. FT.
OCCUPANCY LOAD: B, "BUSINESS", 100 GROSS S.F. / PERSON
SECTION 1004.1.2 BUSINESS AREA: 1,545 S.F. / 100 = 16 PERSONS

- ALL NOTES HEREIN MENTIONED WITH THOSE ON THE VARIOUS DRAWINGS, SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS ONLY.
- PRIOR TO SUBMISSION OF THE BID, THE CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AND QUANTITIES AS THEY RELATE TO THE WORK, AS INDICATED ON THE DRAWINGS AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF THE BID.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- GRAPHIC AND WRITTEN INFORMATION ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY. MINOR MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE VARIATIONS.
- THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETEIORATION AND DAMAGE.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATE BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE BREAKAGES, COLLAPSE, DISTORTIONS AND OFF-ALIGNMENTS ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK. ANY DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, OR THE REQUIRED CODES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.
- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING

- ALL APPLICABLE STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- ALL CODES, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
 - ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS.
 - ALL MANUFACTURERS' PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR APPROVED EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED.
 - ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW.
 - ALL MATERIALS, EQUIPMENT AND TYPES OR METHODS OF CONSTRUCTION SHALL IN NO EVENT BE LESS THAN THAT NECESSARY TO CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES, HANDICAPPED REQUIREMENTS, CHARTERS, ETC., OF THE REQUIRED GOVERNING AUTHORITIES.
 - EQUIPMENT SERVICES FOR EQUIPMENT, SLAB OPENINGS, ETC., ARE BASED ON CURRENT MANUFACTURERS' REQUIREMENTS. THESE MAY CHANGE WITH UPDATED OR SUBSTITUTED EQUIPMENT, SERVICES AND SLAB OPENINGS SHALL BE COORDINATED AND UPDATED BY THE CONTRACTOR(S).
 - SHOP DRAWINGS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, AND SPECIALIZED CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW FOR DESIGN CONFORMANCE WITH THE DESIGN CONCEPT OF THE WORK. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND/OR REQUIREMENTS.
 - THE ELECTRICAL OUTLETS AND PLUMBING SHOWN ON THE ARCHITECTURAL DRAWINGS ARE TO CLARIFY THE FUNCTIONAL PATTERNS OF THE ROOM.

EXIT ACCESS TRAVEL DISTANCE

SECTION 1016
SECTION 1017

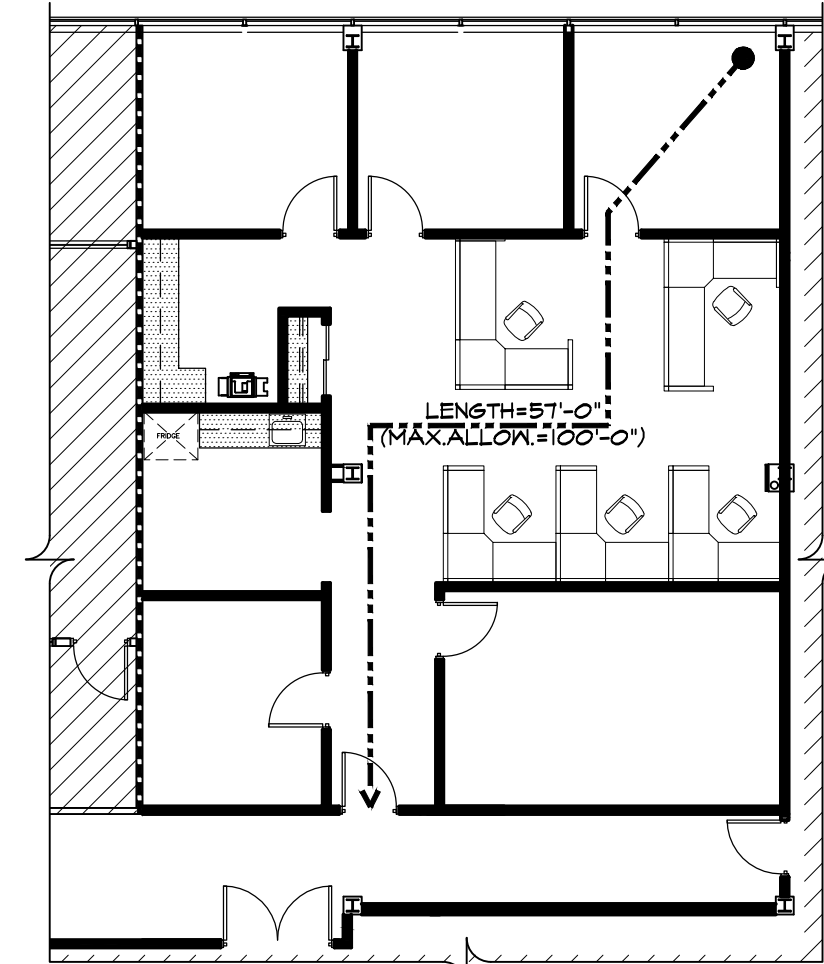
ALL MEANS OF EGRESS DOORS SHALL BE READILY OPEN-ABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY, OR SPECIAL KNOWLEDGE, AND/OR EFFORT

LENGTH OF EXIT ACCESS: 'B' = 100'-0" MAXIMUM WITH SPRINKLERS

- ALL CONCRETE BASES FOR MECHANICAL AND ELECTRICAL EQUIPMENT, WHERE REQUIRED BY EQUIPMENT MANUFACTURERS, SHALL BE FURNISHED AND COORDINATED BY THE CONTRACTOR. THE EXACT SIZE, HEIGHT, LOCATION AND STRENGTH SHALL BE OBTAINED FROM THE CONTRACTOR'S APPROVED SHOP DRAWINGS AND VERIFIED BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER.
- CONTRACTOR SHALL FURNISH AND INSTALL ANCHLES, STRUTS, BRACKETS, TOELES, EYE BOLTS AND ALL ACCESSORIES REQUIRED TO PROPERLY SUPPORT BRACE AND/ OR REINFORCE ALL FINISHES, FRAMES, EQUIPMENT, ETC.
- ALL WALLS ARE DIMENSIONED TO NOMINAL THICKNESS.
- ALL DIMENSIONS TO GYPSUM WALL BOARD PARTITIONS ARE TO THE FACE OF BOARD UNLESS OTHERWISE NOTED.
- PARTITIONS SHALL REST DIRECTLY UPON THE CONCRETE FLOOR CONSTRUCTION AND SHALL EXTEND TO THE CONCRETE CONSTRUCTION OF THE FLOOR OR ROOF ABOVE. SEE WALL PARTITION TYPES.
- WHERE FIRE RATED PARTITIONS ARE SCHEDULED, CONTRACTOR SHALL PROVIDE TYPE X GYPSUM WALL BOARD.
- NET WALL SIDE OF PARTITIONS SHALL BE 5/8" WATER RESISTANT GYPSUM WALL BOARD.
- CONDUITS IN FIRE-RATED PARTITIONS WILL NOT EXCEED 3/4" DIAMETER. OUTLETS IN SUCH PARTITIONS WILL BE BACKED UP WITH APPROVED MATERIALS.
- PENETRATIONS AND OPENINGS IN FIRE-RATED WALLS, PARTITIONS OR FLOORS FOR PIPE SLEEVES, MEDICINE CABINETS, HAMPERS, ELECTRICAL DEVICES, ETC. SHALL BE PACKED AND SEALED WITH APPROPRIATE FIRESTOPPING MATERIAL.
- NO CONDUITS, PIPES, MEDICINE CABINETS, ETC., SHALL ENCRACH UPON FIRE RATED PARTITIONS ENCLOSES PUBLIC CORRIDORS, STAIRS, ELEVATOR SHAFTS OR EXIT DOORS SHALL BE READILY OPENABLE AT ALL TIMES FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE. DOORS OPENING INTO THE INTERIOR ENCLOSED STAIR SHALL NOT BE LOCKED FROM EITHER SIDE EXCEPT THAT DOORS MAY BE LOCKED TO PREVENT ACCESS TO THE STAIR FROM THE OUTDOORS AT THE STREET LEVEL.
- ALL DOORS TO REQUIRED EXIT STAIRS SHALL NOT BE LESS THAN 32" WIDE UNLESS OTHERWISE NOTED.
- ALL DOORS SHALL NOT BE LESS THAN 80"

IN HEIGHT, UNLESS OTHERWISE NOTED.

- ALL EXITS SHALL BE READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. EXIT SIGNS SHALL BE INTERNALLY LIGHTED, HAVING A BRIGHTNESS OF THE LETTERS OF AT LEAST 06 FEET LAMBERT. LETTERS SHALL BE RED, THE BACKGROUND SHALL BE WHITE, LETTERS SHALL BE BLOCK LETTERING, AT LEAST 6" HIGH, WITH 3/4" STROKES. (1023.0)
- EXIT DOORS SHALL BE READILY OPENABLE AT ALL TIMES FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE. DOORS OPENING INTO THE INTERIOR ENCLOSED STAIR SHALL NOT BE LOCKED FROM EITHER SIDE EXCEPT THAT DOORS MAY BE LOCKED TO PREVENT ACCESS TO THE STAIR FROM THE OUTDOORS AT THE STREET LEVEL.
- ALL WIRE GLASS IN RATED DOORS AND WINDOWS WILL BE OF TYPE "A" APPROVED BY THE UNDERWRITERS LABORATORIES.
- LOCATION OF EVERY EXIT ON EVERY FLOOR SHALL BE CLEARLY INDICATED BY EXIT SIGNS. PLACED, IF REQUIRED, AT AN ANGLE WITH THE EXIT OPENING. INSTALL DIRECTIONAL SIGNS TO SERVE AS A GUIDE FROM ALL PORTIONS OF THE CORRIDOR OR FLOOR. SIGNS SHALL BE ON A SEPARATE CIRCUIT TAKEN OFF AHEAD OF THE MAIN SWITCH.
- ILLUMINATION OF AT LEAST 5 FOOTCANDLES MEASURED AT THE FLOOR LEVEL SHALL BE MAINTAINED CONTINUOUSLY IN EXITS AND THEIR ACCESS FACILITIES FINISH FLOORING IN ALL EXITS SHALL BE OF NON-COMBUSTIBLE MATERIALS.
- FINISH FLOORING IN ALL EXITS SHALL BE OF NON-COMBUSTIBLE MATERIALS.
- ALL SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE A.D.A. ACCESSIBILITY GUIDELINES.
- PROVISIONS FOR THE PHYSICALLY DISABLED SHALL CONFORM TO THE "BARRIER FREE SUBCODE, N.J.A.C. 5:23-7."
- WHERE POSSIBLE, NEW CEILING GRILLES, SPRINKLERS, EXIT SIGNS ETC., SHALL BE CENTERED ON CEILING TILES, BETWEEN LIGHT FIXTURES, AND BETWEEN WALLS, U.O.N.
- LOCATION OF LIGHT FIXTURES, MECHANICAL FIXTURES, SPRINKLERS, ETC., SHALL BE COORDINATED WITH ALL TRADES AS REQUIRED, TO PROVIDE THE LOCATIONS, SPACING, AND ALIGNMENTS SHOWN ON THIS DRAWING OR REQUIRED BY OTHER TRADES AND/OR CODE REQUIREMENTS. VERIFY CONFLICTS WITH THE ARCHITECT.
- AT EACH END OF LIGHT FIXTURE, USE AN INTERLOCKING CROSS TEE OR LOCKING BAR.
- THE TOTAL WEIGHT OF A LIGHT FIXTURE

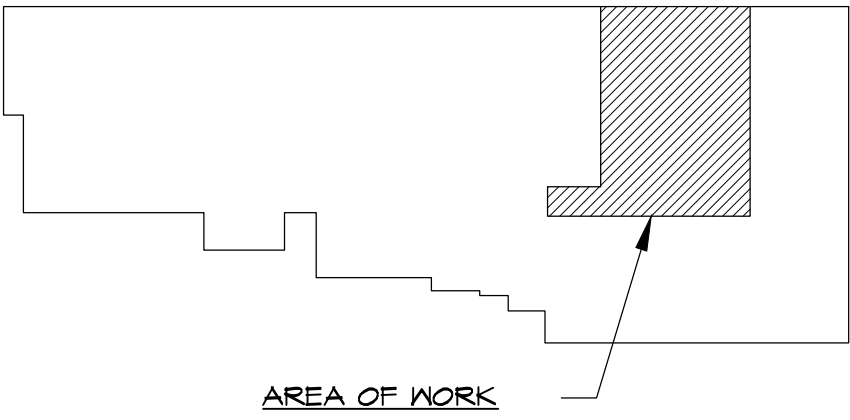


EGRESS PLAN

SCALE: 3/32" = 1' - 0"

ABBREVIATIONS:

A/C	AIR CONDITIONING	EXT	EXTERIOR	RO	ROUGH OPENING
AC	ACCOUSTICAL	FD	FLOOR DRAIN	S	SOUTH
ACC	ACCESS	FDN	FOUNTAIN	SCW	SOLID CORE WOOD
ACP	ACOUSTICAL PANEL	FE	FIRE EXTINGUISHER		DOOR
ACT	ACOUSTICAL PANEL	FIN	FINISH (ED)	SD	STORM DRAIN
ADD	APPENDUM	FIXT	FIXTURE	SECT	SECTION
ADJ	ADJACENT	FLR	FLOOR (ING)	SF	SQUARE FOOT
AFF	ABOVE FINISH FLOOR	FP	FIREPROOF	SIM	SIMILAR
ALUM	ALUMINUM	FFSC	FIREPROOF	SPEC	SPECIFICATION
ARCH	ARCHITECT (URAL)		SELF-CLOSING	SPR	SPRINKLER
BD	BOARD	FT	FEET	SQ	SQUARE
BLDG	BUILDING	FTG	FOOTING	STD	STANDARD
BLK	BLOCK	GA	GAGE, GAUGE	STL	STEEL
BO	BOTTOM OF	GC	GENERAL CONTRACT	STOR	STORAGE
BRG	BEARING	GFI	GROUND FAULT	SUSP	SUSPENDED
BRK	BRICK		INTERUPT	T	TREAD
BSMT	BASEMENT	GL	GLASS GLAZING	TEL	TELEPHONE
BUR	BUILT UP ROOFING	GWB	GYPSUM WALL BOARD	THK	THICK (NESS)
CAB	CABINET	HC	HOLLOW CORE	TO	TOP OF
CB	CATCH BASIN	HDR	HEADER	TYP	TYPICAL
CC/TV	CLOSED CIRCUIT T.V.	HDW	HARDWARE	U.O.N	UNLESS OTHERWISE
CEM	CEMENT	HGT	HEIGHT		NOTED
CI	CAST IRON	HM	HONOR MEDAL	VGT	VINYL WALL
CL	CENTER LINE	HP	HIGH POINT		COVERING
CLS	CEILING	HTG	HEATING	VDT	VIDEO DISPLAY
CLO	CLOSET	HVAC	HEATING VENTILATION		TERMINAL
CLR	CLEAR (ANCE)		& AIR CONDITIONING	VIF	VERIFY IN FIELD
CMU	CONCRETE MASONRY	IS	ISOLATED GROUND	VWG	VINYL WALL
		IN	INSULATION		COVERING
CNTR	COUNTER	INSUL	INSULATION (D) (ION)	W	WEST
COL	COLUMN	JC	JANITOR'S CLOSET	W	WITH
CONC	CONCRETE	LAM	LAMINATE (D)	WB	WALL BASE
CONST	CONSTRUCTION	LAV	LAVATORY	WC	WATER CLOSET
CONTR	CONTRACT (OR)	LF	LIVE LOAD	WD	WOOD
CORR	CORRIDOR	LP	LOW POINT	WM	WIRE MESH
CPT	CARPET	MAX	MAXIMUM	W/O	WITHOUT
CT	CERAMIC TILE	MATL	MATERIAL	WP	WATERPROOFING
CTR	CENTER	MECH	MECHANICAL	WWM	WELDED WIRE MESH
DEMO	DEMOLITION	MFR (D)	MANUFACTURE (R) (D)		
DEPT	DEPARTMENT	MIN	MINIMUM		
DF	DRINKING FOUNTAIN	MIR	MIRROR		
DIA	DIAMETER	MO	MASONRY OPENING		
DIAG	DIAGONAL	MTL	METAL		
DIM	DIMENSION	N	NORTH		
DIV	DIVISION	NIC	NOT IN CONTRACT		
DL	DEAD LOAD	NO	NUMBER		
DN	DOWN	NOM	NOMINAL		
DP	DAMP PROOFING	NTS	NOT TO SCALE		
DR	DOOR	OA	OVERALL		
DS	DOWN SPROUT	OC	ON CENTER		
DTL	DETAIL	OH	OVERHEAD		
DWS	DRAWING	OPNG	OPENING		
DWR	DRAWER	OPPS	OPPOSITE		
E	EAST	PC	POURED CONCRETE		
EA	EACH	PL	PLATE		
ELEG	ELECTRIC (AL)	PL LAM	PLASTIC LAMINATE		
ELEV	ELEVATION	PNL	PANEL		
EMERG	EMERGENCY	PTN	PARTITION		
ENCL	ENCLOSURE (ENCLOSURE)	PVC	POLYVINYL CHLORIDE		
EQ	EQUAL	R	RISER		
EW	EACH WAY	RAD	RADIUS		
EWG	ELECTRIC WATER COOLER	RD	ROOF DRAIN		
EXC	EXCAVATE	REF	REFERENCE		
EXH	EXHAUST	REF6	REFRIGERATOR		
EXIST	EXISTING	REINF	REINFORCED		
EXPJT	EXPANSION JOINT	RES	RESILIENT		
		RFG	ROOFING		
		RM	ROOM		



Key Plan- 3rd Floor



No.	Issue Date	Issue Description
1	10.31.2019	Issued for Permit

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Project

ABS

70 HILLTOP RD.
RAMSEY, NJ

Client

FIRST NATIONAL CORP.

Drawing Title

TITLE SHEET GENERAL NOTES DRAWING LIST

Scale	AS NOTED
Project	1946.1
File No	1946.1_A0.DWG
Drawn	MG
Checked	LS
Date	10.31.2019
Sheet No	

A - 0

NJ	05915
NY	011938
PA	B 7813
CT	4823
AZ	12822
NCARB	12652

NEW JERSEY UNIFORM CONSTRUCTION CODE

THIS PROJECT HAS BEEN DESIGNED UNDER THE FOLLOWING CODES:
BUILDING CODE: INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION, 2015 (NJAC 5:23-3.14)
PLUMBING CODE: NATIONAL STANDARD PLUMBING CODE, 2015 (NJAC 5:23-3.15)
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE, 2015 (NJAC 5:23-3.20)
GAS CODE: INTERNATIONAL FUEL GAS CODE, 2015 (NJAC 5:23-3.22)
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2014 (NJAC 5:23-3.16)
STANDARDS FOR THE INSTALLATION OF AIR CONDITIONING & VENTILATION SYSTEMS NFPA 90A-2012
INSTALLATION OF SPRINKLERS SYSTEMS NFPA 13-2013
ACCESSIBILITY CODES: ICC/ANSI A117.1 ACCESSIBLE & USABLE BUILDING & FACILITIES, 2004
RECOMMENDATIONS OF MODIFICATION TO ACCESSIBILITY STDs FOR CHILDREN'S ENVIRONMENTS, PREPARED BY NJDCA, 3/2003
REHABILITATION CODE: REHABILITATION SUBCODE (NJAC 5:23-6, 2012)

CLIENT

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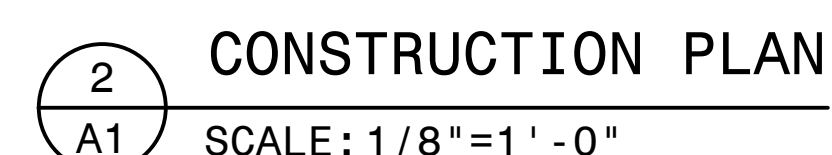
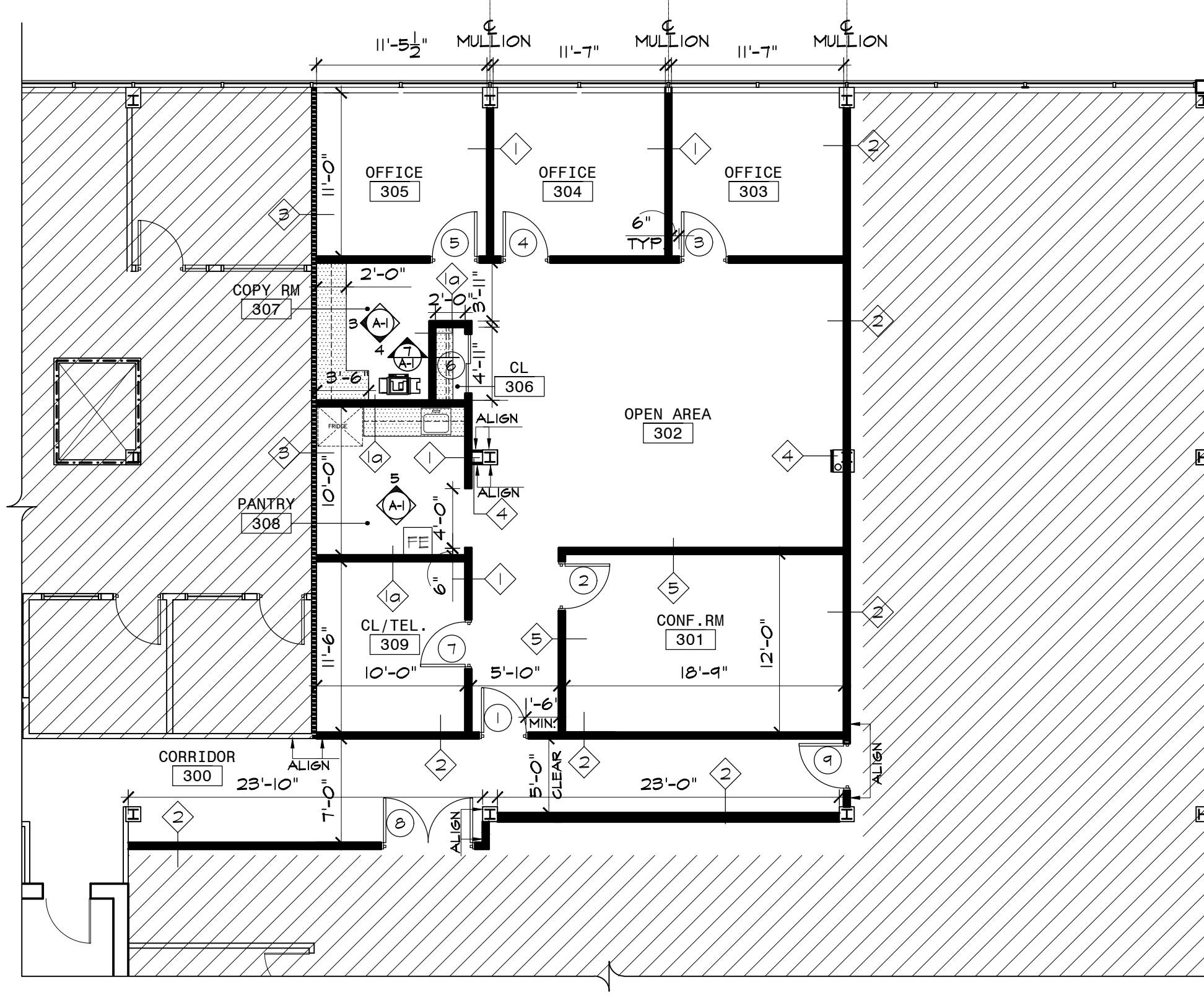
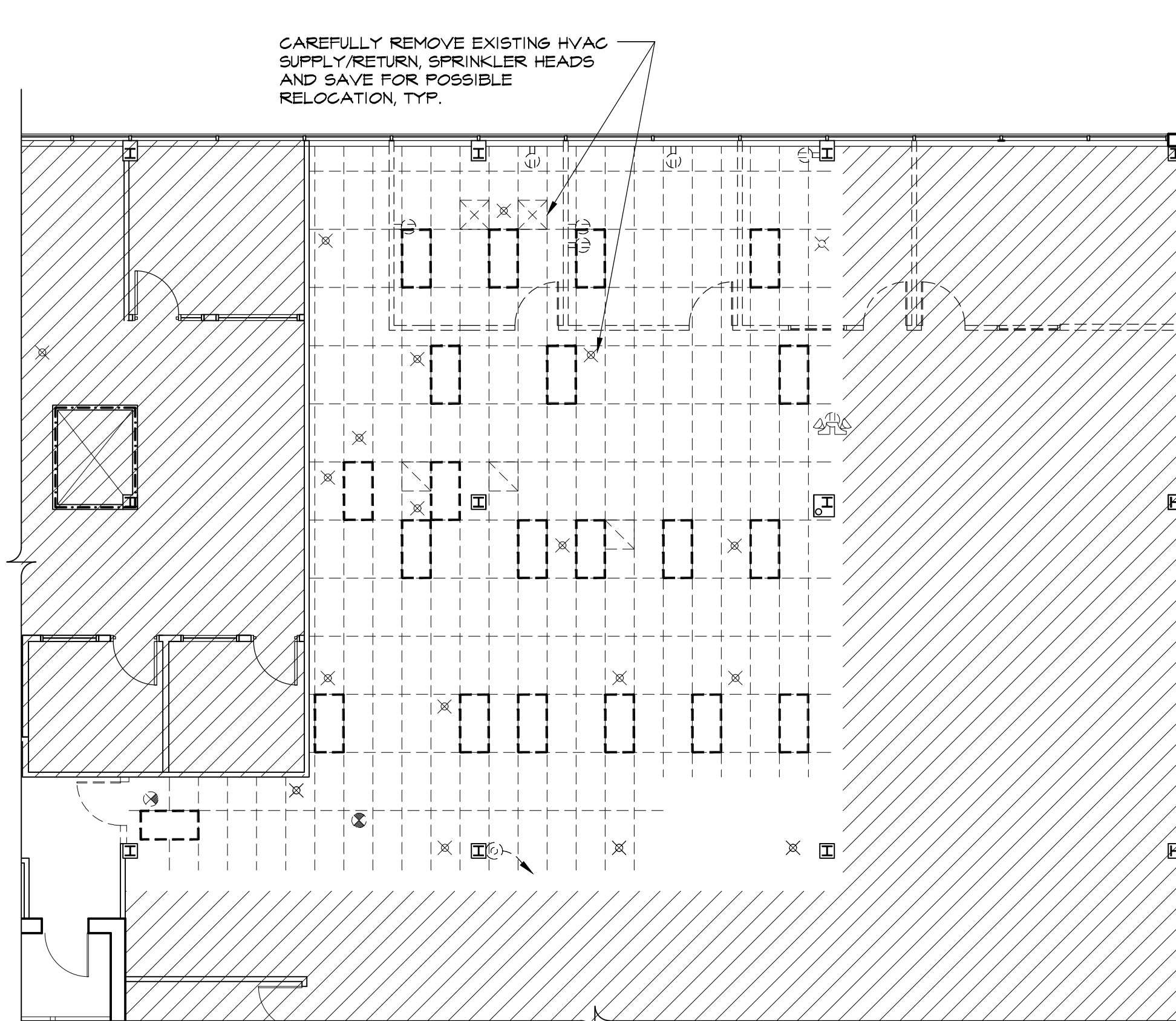
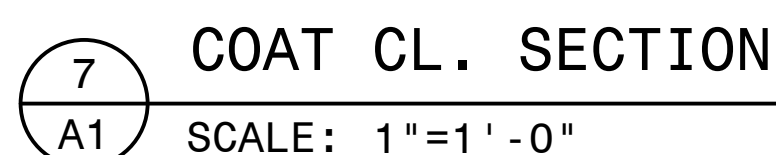
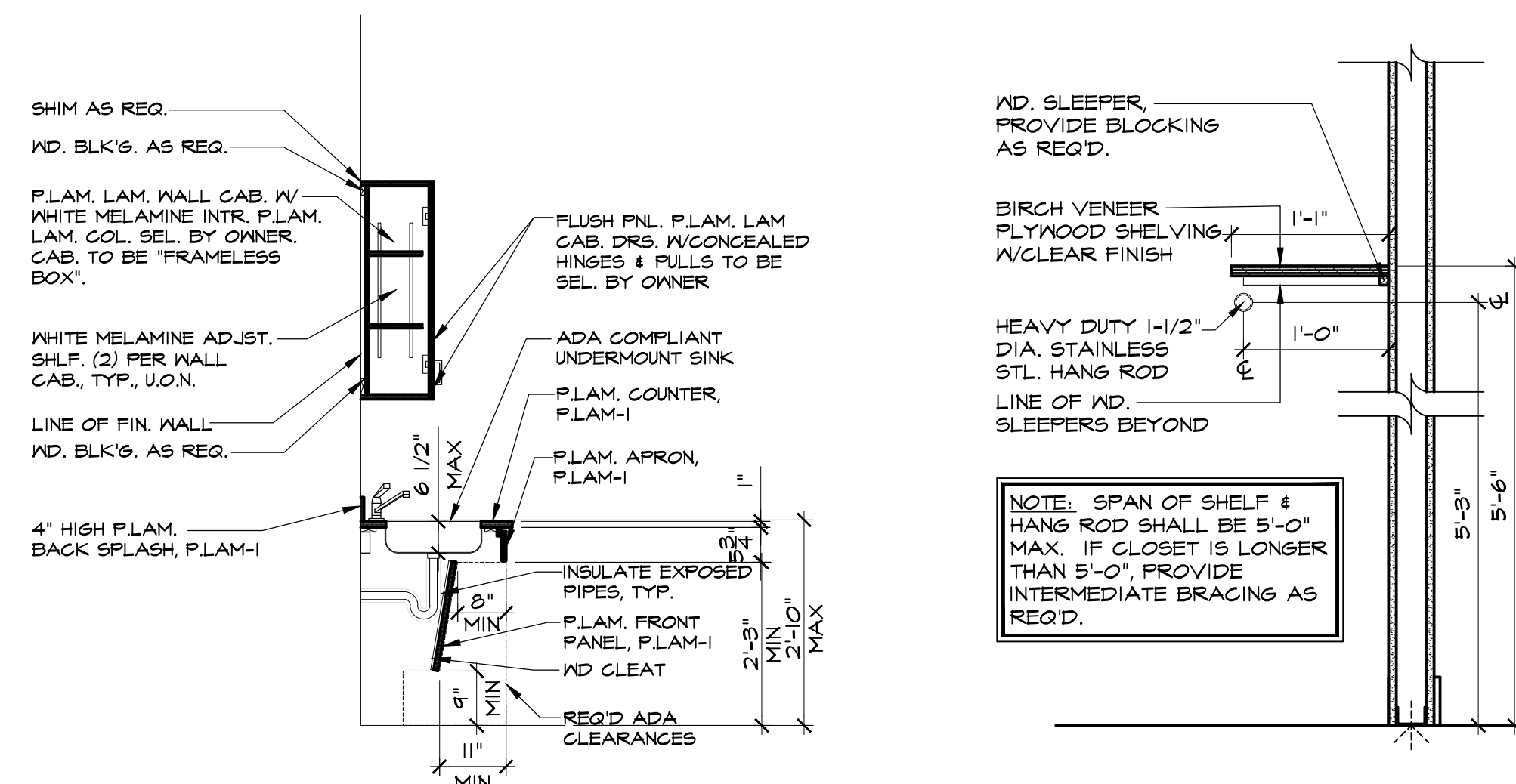
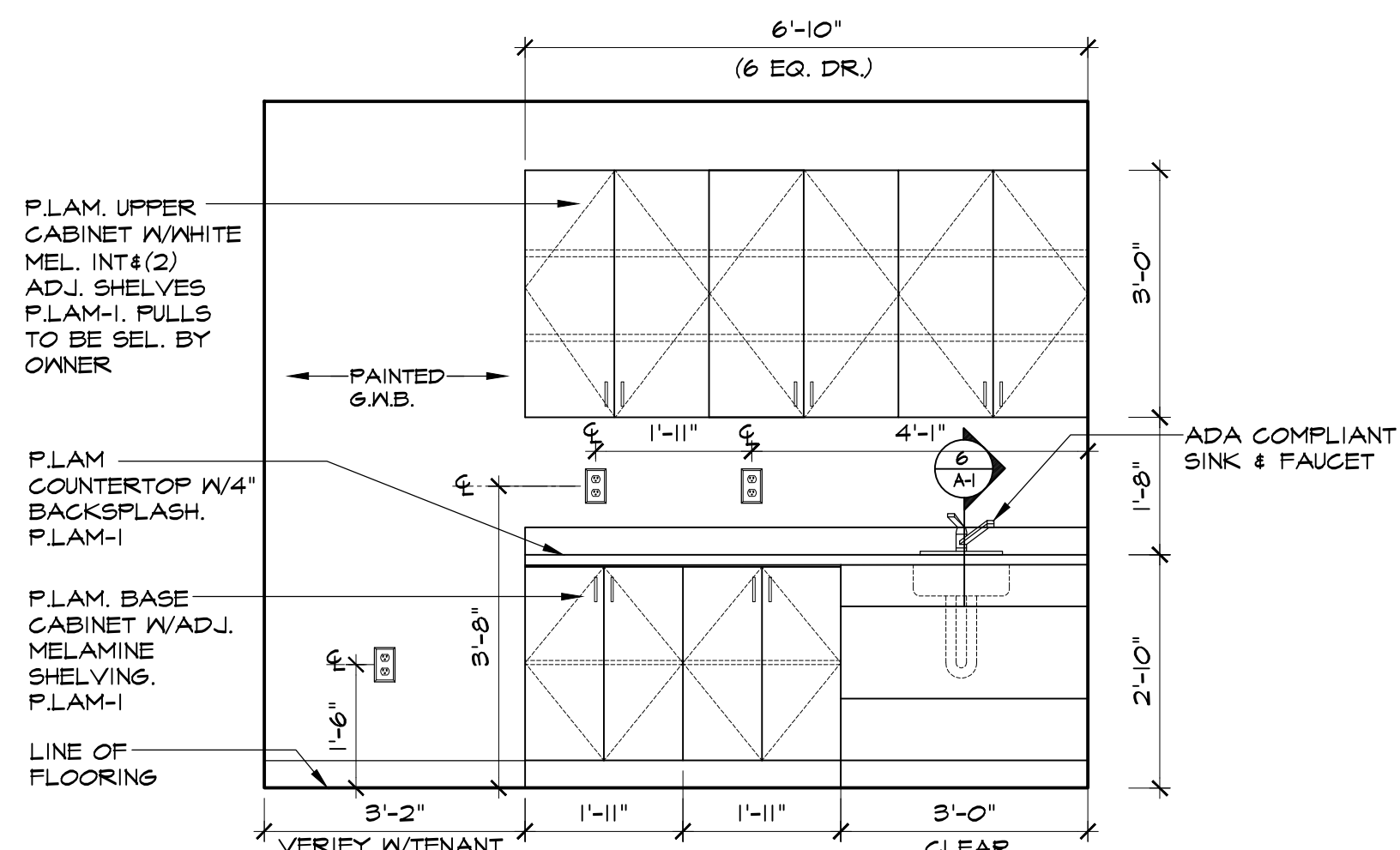
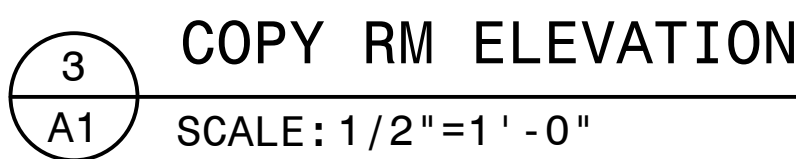
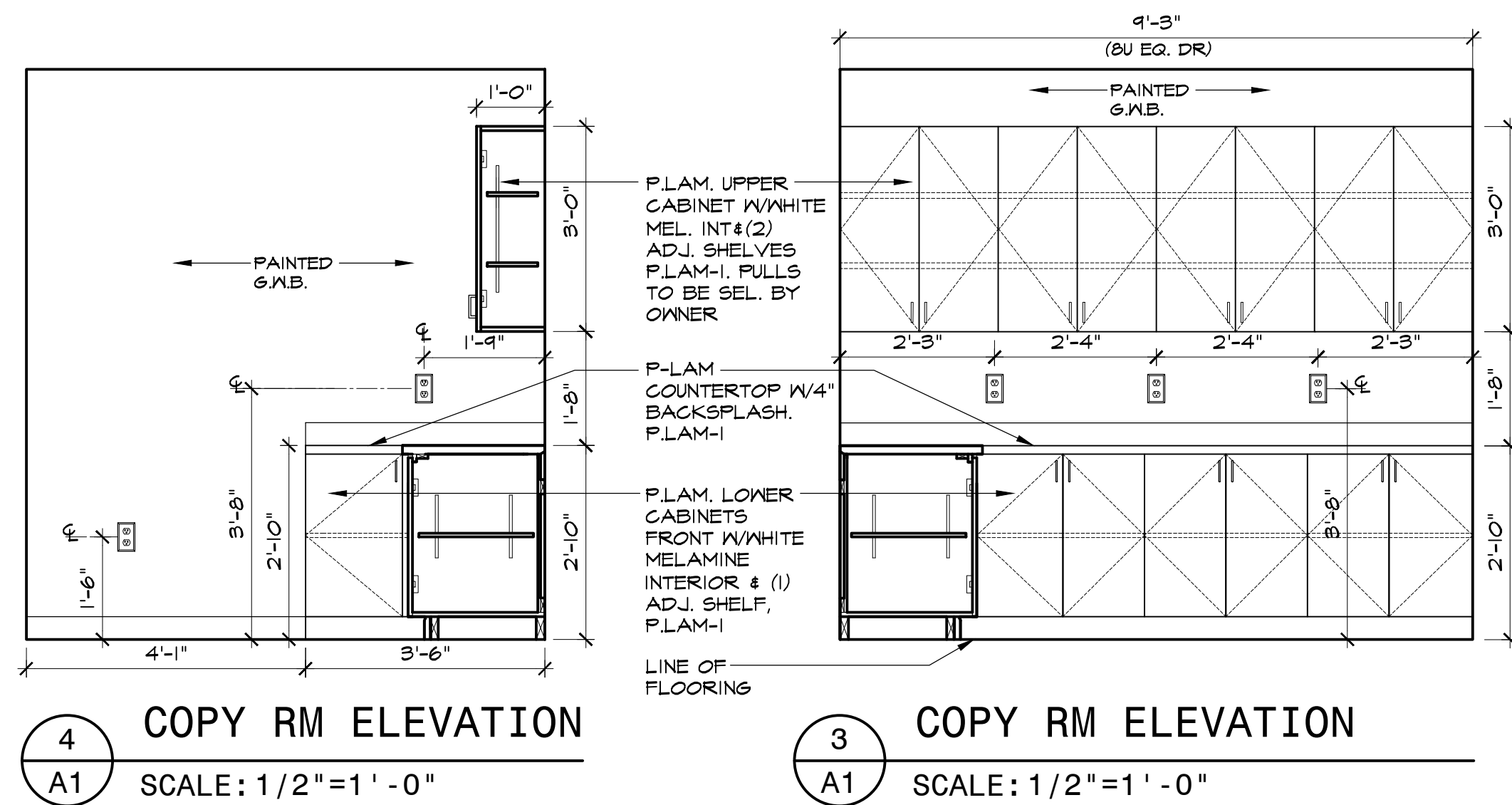
INSPECTIONS

- CONTRACTOR(S) AND THEIR RESPECTIVE SUB CONTRACTORS AND/OR CONSULTANTS SHALL BE RESPONSIBLE FOR COORDINATING AND OBTAINING ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS AND SIGN-OFFS AND SUBMIT THIS INFORMATION/DOCUMENTATION TO THE ARCHITECT/ENGINEER OF RECORD.
- CONSULT THE MUNICIPALITY'S BUILDING DEPARTMENT FOR THE REQUIRED INSPECTIONS.

DRAWING LIST

ARCHITECTURAL












A-0	TITLE SHEET GENERAL NOTES DRAWING LIST
A-0.1	SPECIFICATIONS
A-1	DEMOLITION PLAN CONSTRUCTION PLAN ELEVATIONS
A-2	POWER/DATA PLAN REFLECTED CEILING PLAN DOOR SCHEDULE FINISH SCHEDULE
A-3	PARTITION TYPES



- DEMOLITION NOTES

1. G.C. SHALL REMOVE ALL REMOVED LIGHTS, DIFFUSERS, SPRINKLER HEADS, ETC. FOR POSSIBLE RELOCATION, TYP.
2. G.C. SHALL TAKE PRECAUTION TO ADEQUATELY SHORE AND BRACE ANY CONSTRUCTION TO BE REMOVED THAT IS BELIEVED TO BE STRUCTURAL TO PREVENT COLLAPSE, TYP.
3. G.C. SHALL REMOVE AND DISCARD EXIST. FLOOR FINISHES THROUGHOUT WORK AREA, U.O.N., AND PREPARE EXIST. CONC. SLAB TO REMAIN FOR NEW FINISHES AS PER FINISH SCHEDULE.
4. G.C. SHALL REMOVE AND DISCARD ALL EXISTING POWER RECEPTACLES, TELE/ DATA RECEPTACLES AND LIGHT SWITCHES SHOWN ON THE DEMOLITION PLAN, TYP. EXIST. RECEPTACLES TO REMAIN ARE SHOWN ON THE POWER PLAN.
5. REMOVE & DISCARD ALL ELECTRICAL / TELE/ DATA / HVAC / SECURITY DEVICES ON PTNS. TO BE REMOVED, TYP. DISCONNECT WIRING AND REMOVE BACK TO SOURCE.
6. REMOVE TELEPHONE OUTLETS AND PULL CABLE TO CEILINGS. NEATLY COIL CABLE AND LEAVE HANGING FROM CEILING SUPPORT STRUCTURE. REMOVE ELECTRICAL CIRCUITS BACK TO NEAREST JUNCTION BOX.
7. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIAL IN SUCH MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES.
8. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THE USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.
9. ERECT AND MAINTAIN TEMPORARY BARRICADES, WARNING SIGNS, AND GUARDS NECESSARY TO PROTECT STREETS, SIDEWALK, AND ADJOINING PROPERTY AND ADJOINING TENANTS FROM DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, AND GOOD PRACTICE.
10. EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY SETTLEMENT, FALLING DEBRIS, OR CAUSES IN CONNECTION WITH THIS WORK.
11. ALL WORK SHALL COMPLY WITH RULES AND REGULATIONS OF ALL LOCAL AND STATE AGENCIES AND AUTHORITIES HAVING JURISDICTION.
12. G.C. SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.
13. G.C. SHALL REMOVE ALL ITEMS IN CONFLICT WITH NEW CONSTRUCTION, REGARDLESS OF WHETHER OR NOT THEY ARE INDICATED ON THIS DEMOLITION PLAN, TYP.
14. G.C. SHALL TAKE CARE TO "SAFE OFF" ALL LIVE ELECTRICAL WIRES IN AREA OF WORK PRIOR TO BEGINNING DEMOLITION.
15. COORDINATE EXTENT OF DEMOLITION W/ CONSTRUCTION PLAN, TYP.
16. G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF DEMOLISHED MATERIALS.

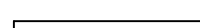





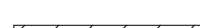




- ### DEMOLITION LEGEND

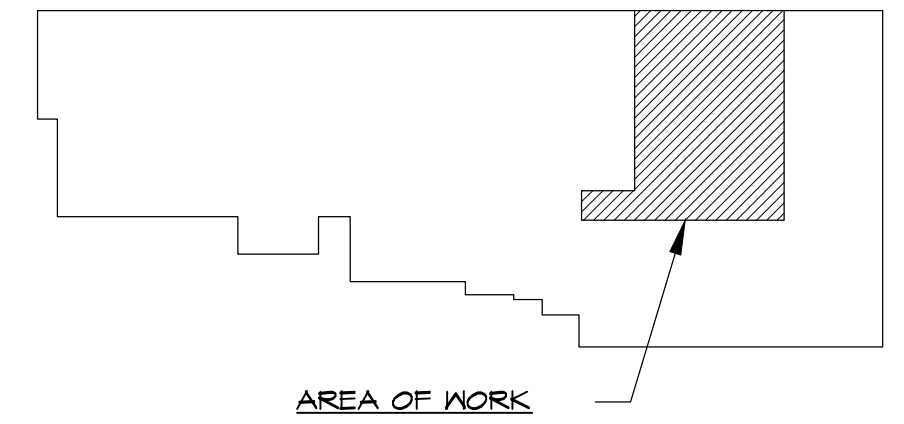
- | | | | |
|---|---|---|----------------------------|
|  | EXIST. TO BE REMOVED |  | EXTG. HVAC SUPPLY GRILL |
|  | EXIST. PARTITION TO REMAIN. |  | EXTG. HVAC RETURN GRILL |
|  | HATCHED AREA INDICATES AREA OF ADJACENT TENANT SFACE (N.I.C.) |  | EXTG. EMERGENCY LIGHT |
|  | EXTG. 2'X4' LIGHT FIXTURE |  | EXTG. FIRE STROBE |
| | |  | EXTG. SPRINKLER HEAD |
| | |  | EXTG. ITEM TO BE RELOCATED |
| | |  | EXTG. ITEM TO REMAIN |

- ## CONSTRUCTION NOTES

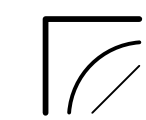
1. PROVIDE NEW FINISHES THROUGHOUT SCOPE OF WORK. REFER TO FINISH SCHEDULE, SHEET A-2, FOR ADDITIONAL INFO.
2. SEE REFLECTED CEILING PLAN, SHEET A-2, FOR LIGHTING INFORMATION, TYPICAL.
3. ALL AREAS OF NEW WORK SHALL BE PAINTED PRIOR TO PROJECT COMPLETION. REFER TO FINISH SCHED. SHEET A-2, FOR ADDTNL. INFO.
4. G.C. SHALL REMOVE ANY DEVICES IN CONFLICT WITH NEW CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, THERMOSTATS, SWITCHES, ELECTRICAL RECEPTACLES, ETC. PATCH AND REPAIR ALL EXIST. PTNS. TO REMAIN WHERE ADJACENT PTNS. HAVE BEEN REMOVED. INTENT IS TO PROVIDE PLUMB AND LEVEL SURFACES ON WHICH TO INSTALL NEW FINISHES THROUGHOUT, TYP.
5. G.C. SHALL FURNISH AND INSTALL ADEQUATE WD. BLOCKING IN ALL PARTITIONS WHERE WALL-MOUNTED SHELVING AND/OR CABINETRY SHALL BE INSTALLED.

- ### CONSTRUCTION LEGEND

- | | | | |
|---|--|---|--|
|  | EXISTING PARTITION TO REMAIN |  | FIRE EXTINGUISHER |
|  | EXISTING PARTITION TO BE
UPGRADED TO FULL HEIGHT
DEMISING PARTITION. (CONTRACTOR
TO VERIFY) |  | EXISTING DOOR, FRAME &
HARDWARE TO REMAIN. |
|  | NEW PARTITION TO BE
CONSTRUCTED |  | DOOR NUMBER - REFER TO
DOOR SCHEDULE, SHEET A-3,
FOR ADDITNL INFO. |
|  | HATCHED AREA INDICATES
AREA OF ADJACENT TENANT
SPACE (N.I.G.) |  | ALIGN NEW CONST. W/EXIST.
ADJACENT CONST. TO
REMAIN, TYP. |
|  | HATCH INDICATES NEW
MILLWORK, UNLESS OTHERWISE
NOTED. |  | EXIST. ITEM TO REMAIN. |
|  | PARTITION TYPE - REFER TO
PARTITION TYPES, SHEET A-3
FOR ADDITNL INFO. | | |



Key Plan- 3rd Floor

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Project

ABS

70 HILLTOP RD.
RAMSEY, NJ

Client

FIRST NATIONAL CORP.

Drawing Title

DEMOLITION PLAN, CONSTRUCTION PLAN & ELEVATIONS

Scale	AS NOTED
Project	1946.1
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NJ	05915
NY	011938
PA	B 7813
CT	4823
AZ	12822
NCARB	12652

DOOR SCHEDULE

DR. #	DOOR TYPE	SIZE	RATING	FRAME	SADDLE	HARDWARE	REMARKS
①	3	3'-0" X 7'-0"	-	HM	-	O4	-
②	1	3'-0" X 7'-0"	-	HM	-	O1	-
③	1	3'-0" X 7'-0"	-	HM	-	O1	-
④	1	3'-0" X 7'-0"	-	HM	-	O1	-
⑤	1	3'-0" X 7'-0"	-	HM	-	O1	-
⑥	2	4'-0" X 7'-0"	-	HM	-	O2	-
⑦	1	3'-0" X 7'-0"	-	HM	-	O1	-
⑧	4	6'-0" X 7'-0"	-	HM	-	O3	-
⑨	3	3'-0" X 7'-0"	-	HM	-	O4	-

DOOR TYPES		HARDWARE SETS		HARDWARE NOTES	
<div><p>TYPE 1 1-3" THK. SINGLE LEAF WD. DR. W/ BRUSHED CHROME FITTINGS & A.D.A. COMP. HDWNE.</p></div> <div><p>TYPE 2 WD. DR. W/SLIDING HDWRD. BY PASSING HARDWARE</p></div>		<p>HDWNE SET 01: OFFICE SET 1 1/2 PAIR HINGES 1 LEVER OFFICE SET 1 WALL/FLOOR STOP 4 SILENCERS 1 COAT HOOK</p> <p>HDWNE SET 02: SLIDING CLOSET OVERHEAD 1-BEAM SLIDING DOOR TRACK EXTRUSIONS JOHNSON HARDWARE 2 DOOR HARDWARE SET OR EQUAL 2 FLUSH PULL</p> <p>HDWNE SET 03: ENTRY DOUBLE LEAF LOCKSET GC. SHALL COORDINATE SECURITY RQMT'S W/ OWNER'S SECURITY VENDOR. 2 PAIR PIVOT HINGES FAIL SAFE MAGNETIC LOCK CONCEALED FLOOR CLOSER PUSH / PULL HANDLES, EACH SIDE WALL/FLOOR MOUNTED STOP DOOR TO MAINTAIN MEANS OF EGRESS OPERATION AT ALL TIMES.</p> <p>HDWNE SET 04: ENTRY SINGLE LEAF LOCKSET GC. SHALL COORDINATE SECURITY RQMT'S W/ OWNER'S SECURITY VENDOR. 1 PAIR PIVOT HINGES FAIL SAFE MAGNETIC LOCK CONCEALED FLOOR CLOSER PUSH / PULL HANDLES, EACH SIDE WALL/FLOOR MOUNTED STOP DOOR TO MAINTAIN MEANS OF EGRESS OPERATION AT ALL TIMES.</p>		<p>ALL DOOR HARDWARE SHALL BE NEW, UON.</p> <p>NEW LEVERS SHALL MATCH BLDG. STD., TYP.</p> <p>ALL DOORS SHALL BE EQUIPPED WITH NEW HINGES, SILENCERS, STRIKES, LEVERS, AND WALL-MOUNTED DOOR STOPS, TYP.</p> <p>KEYING REQUIREMENTS SHALL BE COORDINATED WITH TENANT PRIOR TO ORDERING HARDWARE.</p>	
<div><p>TYPE 3 SINGLE LEAF GLASS. DR.</p></div> <div><p>TYPE 4 DOUBLE LEAF GLASS. DR.</p></div>					
DOOR NOTES			SADDLE NOTES		
<p>BUILDING STANDARD DOOR SHALL BE: PRE-FINISHED SOLID WD. DOOR.</p> <p>MFR., STAIN COLOR, ETC. TO MATCH EXIST. THROUGHOUT TENANT SPACE</p>			<p>ALL SADDLES SHALL BE ADA COMPLIANT WITH RISE OF 1/4" MAX.</p> <p>VINYL - VINYL REDUCING STRIP @ ALL CHANGES IN FLR. MAT. FROM SET TO LVT.</p>		

FINISH SCHEDULE

RM. #	RM. NAME	CEILING	WALLS	FLOOR	BASE	REMARKS
300	CORRIDOR	ACT-I	PAINT-I	MATCH	MATCH	-
301	CONFERENCE RM	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
302	OPEN AREA	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
303	OFFICE	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
304	OFFICE	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
305	OFFICE	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
306	COPY RM	ACT-I	PAINT-I	CARPET-I	VINYLI-I	-
307	PANTRY	ACT-I	PAINT-I	LVT-I	VINYLI-I	-
308	STOR/TEL.	ACT-I	PAINT-I	LVT-I	VINYLI-I	-

FINISH MATERIALS

MATCH:

NEW FINISH TO MATCH EXISTING ADJACENT FINISH TO
REMAIN. NEW FINISH SHALL MATCH EXISTING AS CLOSE
AS POSSIBLE IN ALL RESPECTS, INCLUDING, BUT NOT
LIMITED TO, MFR., COLOR, SIZE, FINISH, ETC.

CEILINGSS:

ACT-1: NEW ACOUSTICAL CEILING & GRID FOR USE
THROUGHOUT.
MFR.: ARMSTRONG
STYLE: ULTIMA LAY-IN
COLOR: WHITE
SIZE: 24" X 48"
MPL.: 1103
GRID: 15/16" ML PRELUDE GRID WHITE

WALLS:

PAINT-1: PAINT FOR GENERAL USE ON WALLS
THROUGHOUT.
MFR.: BENJAMIN MOORE, SHERWIN
WILLIAMS OR APPROVED EQUAL
COLOR: T.B.D.
FINISH: EGGSHELL

FLOORING:

CARPET-1: NEW CARPET FOR GENERAL USE
THROUGHOUT.
TO BE CHOSEN FROM LANDLORD'S BUILDING
SELECTIONS.

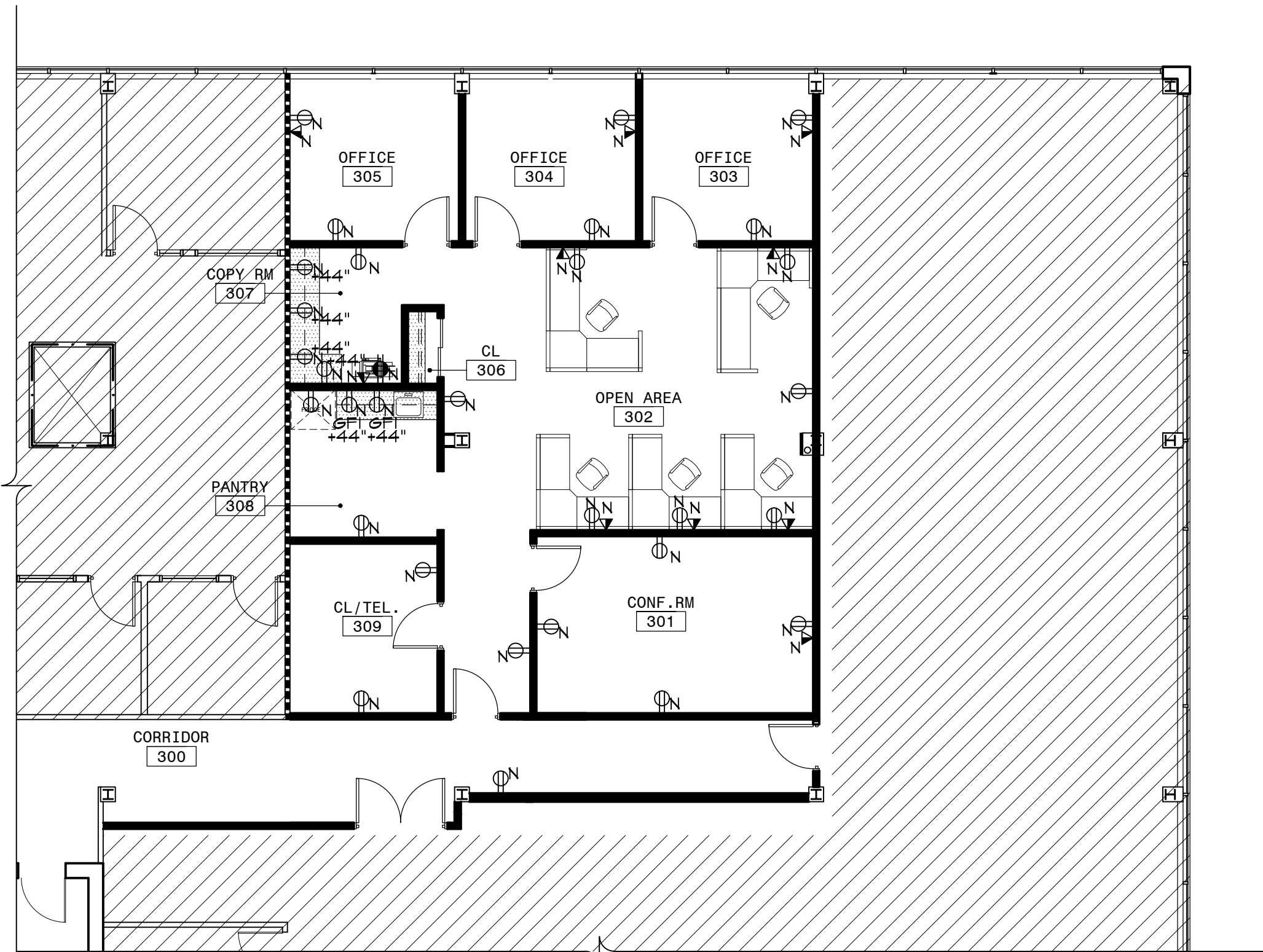
LVT-1: NEW VINYL TILE FOR USE IN PANTRY & STORAGE.
MFR.: ARMSTRONG
STYLE: NAB31
MODEL: BRACO
COLOR: T.B.D.
SIZE: 12" X 24" X .125"

WALL BASE:

VINYL-1: VINYL BASE FOR USE WITH CARPET-1 & LVT-1.
MFR.: JOHNSONITE
COLOR: TO MATCH CARPET-1 & LVT-1 COLORS
SIZE: 4" HIGH X CONTINUOUS ROLL

MILLWORK MATERIALS:

FLAM-1: PLASTIC LAMINATE FOR USE AS BACKSPLASH,
COUNTERTOP & CABINETS.
MFR.: T.B.D. BY OWNER
COLOR: T.B.D. BY OWNER
FINISH: T.B.D. BY OWNER



1 POWER/TELE/ATA PLAN

A2 SCALE: 1/8" = 1' - 0"

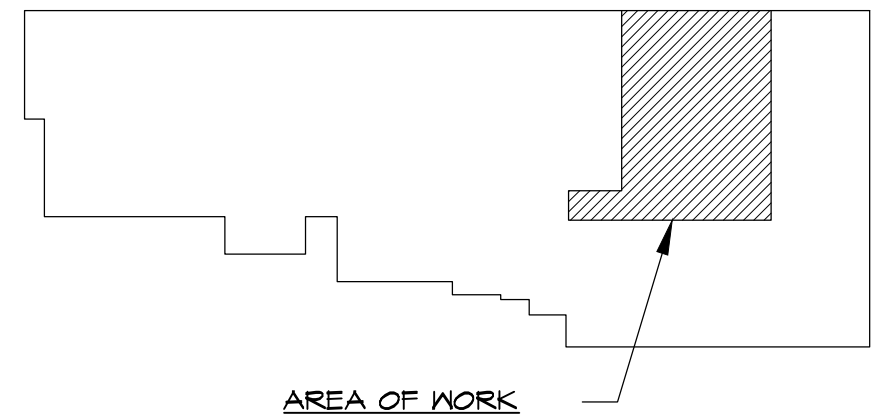


2 REFLECTED CEILING PLAN

A2 SCALE: 1/8" = 1' - 0"

POWER/TELE/DATA NOTES





1. ALL NEW RECEPTACLES SHALL BE INSTALLED AT 18" AFF, U.O.N.
2. FURNITURE AND EQUIPMENT IS SHOWN ON THIS POWER LOCATION PLAN FOR INFORMATIONAL PURPOSES ONLY, AND IS N.I.C.
3. TENANT SHALL BE RESPONSIBLE FOR TELE/DATA WORK, AND ANY COMMUNICATIONS RECEPTACLES ARE SHOWN FOR INFORMATION AND COORDINATION ONLY.
4. G.C. SHALL COORDINATE SECURITY WORK WITH TENANT'S SECURITY VENDOR, TYP.
5. G.C. SHALL COORDINATE PHASING OF WORK WITH OWNER, AND ALLOW ADEQUATE TIME FOR OWNER TO PERFORM TELE/ DATA WORK NECESSARY TO MAINTAIN NETWORK FOR BUILDING OCCUPANTS DURING CONSTRUCTION.

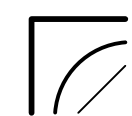


Key Plan- 3rd Floor



POWER/TELE/DATA LEGEND

	DUPLEX RECEPTACLE
	DEDICATED DOUBLE DUPLEX RECEPTACLE
	TELE/DATA RECEPTACLE - N.I.C. LOCATIONS SHOWN FOR COORDINATION PURPOSES ONLY, AND USE BY TENANT'S TELE/DATA VENDOR. G.G. SHALL PROVIDE CONDUIT AND PULL STRING TO EACH RECEPTACLE LOCATION, TYP.
	NEW ITEM TO BE FURNISHED & INSTALLED

[illegible]

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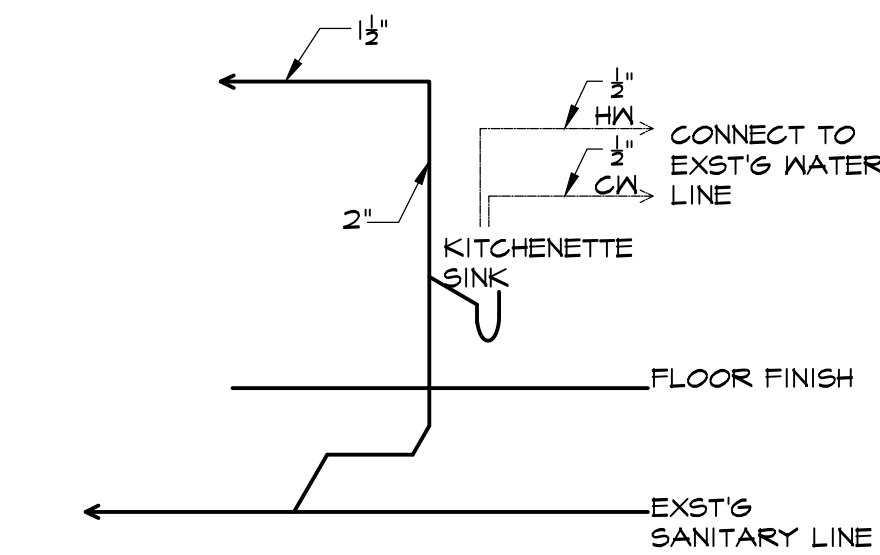
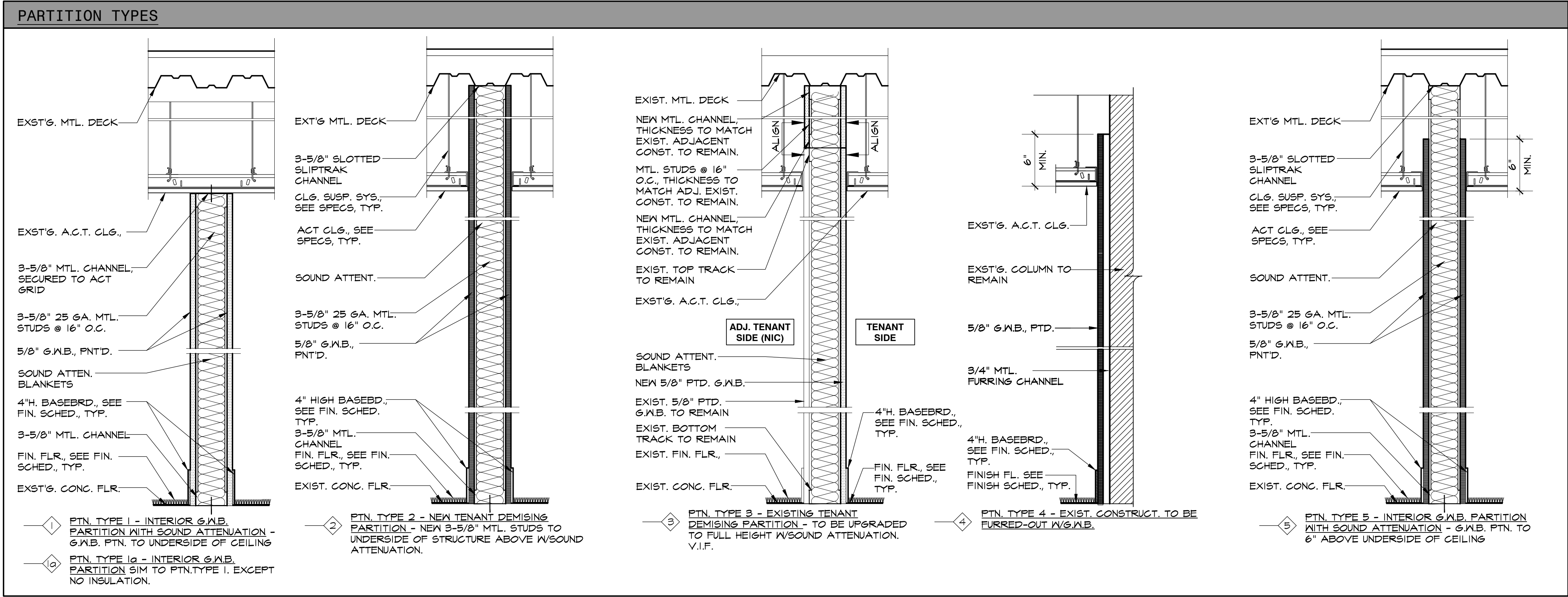
Drawing Title

POWER PLAN, RCP PLAN & SCHEDULES

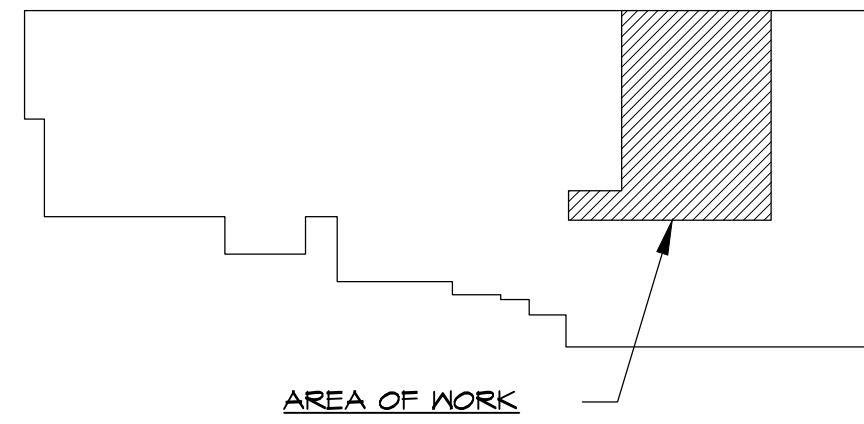
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1 PLUMBING RISER DIAGRAM
A3 SCALE: N.T.S.



Key Plan- 3rd Floor

1	10.31.2019	Issued for Permit
No.	Issue Date	Issue Description

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PARTITION TYPES

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